



Application No. **P-2020-0030**

10/14/2020

City of Centerville Variance Application

100 West Spring Valley Road, Centerville, Ohio 45458
Phone: (937) 433-7151 Fax: (937) 433-8221
E-mail: planning@centervilleohio.gov
www.centervilleohio.gov

1. General Information

Applicants Name: Michael Norton-Smith
Company/Business Name: City of Centerville
Mailing Address: 100 West Spring Valley
City: Centerville State: OH Zip Code: 45377
Phone No.: 937-428-4766 Fax No.: _____ E-Mail: econdev@centervilleohio.gov
Property Address: Yankee Street and Social Row Road
Zoning District: B-1 Existing Use: N/A (Vacant)
Auditors Parcel ID No.: O68 01116 0087 County: Montgomery

Please call (937) 433-7151 ext. 4760 to schedule an appointment or if you have any questions regarding this application.

2. Requested Variance(s)

- UDO Section: 9.05, Table 9.0 Standard: _____
Requirement: Parking & Paving Setback Requirement: 10'
Proposed Variance: Parking and paving setbacks of 0' on the south and east property line.
- UDO Section: 9.25, Table 9.6 Standard: _____
Requirement: Requirement: 10' Bufferyard, Landscaping and Screening Requirements
Proposed Variance: Eliminate south and east bufferyard requirement and relocate required landscaping and screening elsewhere on the property.
- UDO Section: _____ Standard: _____
Requirement: _____
Proposed Variance: _____

Departmental Use Only

<p>DATE STAMP HERE</p> <p>RECEIVED</p> <p>OCT 14 2020</p> <p>CITY OF CENTERVILLE PLANNING DEPT.</p>	<p>FEES</p> <p>Application Fee: <u>N/A</u></p> <p>TOTAL FEE: <u>N/A</u></p> <p>City Initiated Project.</p>	<p> </p>	<p>DECISION RENDERED</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved with Modifications</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p> <p>_____ Signature</p>
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3. Property Owner Information

Property Owner Name: City of Centerville
Mailing Address: 100 West Spring Valley
City: Centerville State: OH Zip Code: 45459
Phone No.: 937-428-4766 E-Mail: econdev@centervilleohio.gov

4. Public Hearing

The petitioner shall provide a list of names and mailing addresses of all property owners within 500 feet of any part of the parcels of land in question as a part of the Petition in accordance with Article 5.17 of the Unified Development Ordinance

5. Applicant Signature

I understand that approval of this application does not constitute approval for any administrative review, conditional use permit, variance, or exception from any other City regulations which are not specifically the subject of this application. I understand further that I remain responsible for satisfying requirements of any private restrictions or covenants appurtenant to the property.

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies may result in the revocation of this zoning certificate as determined by the City Planner. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission.

I certify that statements made to me about the time it takes to review and process this application are general. I am aware that the City has attempted to request everything necessary for an accurate and complete review of my proposal; however, that after my application has been submitted and reviewed by City staff, it may be necessary for the City to request additional information and clarification.

I hereby certify, under penalty of perjury, that all the information provided on this application is true and correct.



Signature of Owner or Authorized Agent

10/15/2020

Date

MICHAEL JACKSON-SMITH

Print Name of Owner or Authorized Agent



BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM SOUTH ZONE (OSPC) AS DERIVED FROM THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE STATIONING (VRS), NAD83

RECORD PLAN

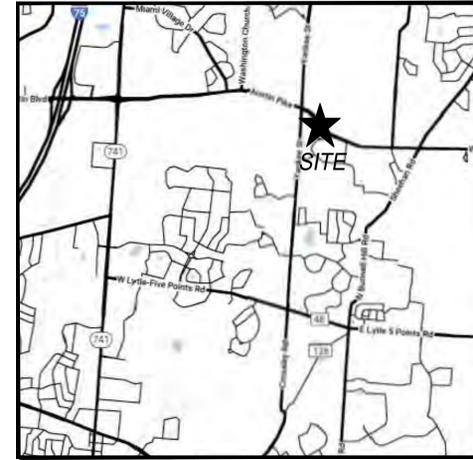
YANKEE AND SOCIAL ROW PLAT SECTION 2

BEING A REPLAT OF LOT #1 YANKEE AND SOCIAL ROW PLAT AS RECORDED IN P.B. 219 PG. 6

SECTION 4, TOWN 2, RANGE 5, M.Rs.

CITY OF CENTERVILLE MONTGOMERY COUNTY, OHIO

TOTAL AREA = 7.487 ACRES
SEPTEMBER, 2020



THE KLEINGERS GROUP
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
www.kleingers.com
6219 Centro Park Dr. West Chester, OH 45069
513.779.7851

DEDICATION:
WE, THE UNDERSIGNED, BEING ALL THE OWNERS AND LIEN HOLDERS OF THE LAND BEING SUBDIVIDED DO HEREBY ACKNOWLEDGE THE MAKING AND SIGNING OF THIS RE-PLAT TO BE OUR VOLUNTARY ACT AND DEED AND HEREBY DEDICATE 0.000 ACRES AS PUBLIC RIGHT OF WAY AND RESERVE THE EASEMENTS AS SHOWN WITHIN THE PLAT TO THE PUBLIC USE FOREVER. EASEMENTS SHOWN WITHIN THE PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER UTILITY LINES OR SERVICES AND FOR THE EXPRESS PRIVILEGES OF REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES, AND FOR PROVIDING INGRESS TO AND EGRESS FROM THE PREMISES FOR SAID PURPOSES, AND ARE TO BE MAINTAINED AS SUCH FOREVER.

SIGNED AND ACKNOWLEDGED

By: _____
Name: _____
Title: _____

OWNER'S STATEMENT
_____ BEING DULY SWORN, SAYS THAT ALL PERSONS AND CORPORATIONS, TO THE BEST OF HER KNOWLEDGE, INTERESTED IN THIS DEDICATION, EITHER AS OWNERS OR LIEN HOLDERS, HAVE UNITED IN ITS EXECUTION.

BY: _____
NAME: _____
TITLE: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF OHIO
COUNTY OF MONTGOMERY
On _____ before me, _____, personally appeared _____, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
I certify under PENALTY OF PERJURY under the laws of the State of Ohio that the foregoing paragraph is true and correct.
WITNESS my hand and official seal.

CITY OF CENTERVILLE, OHIO

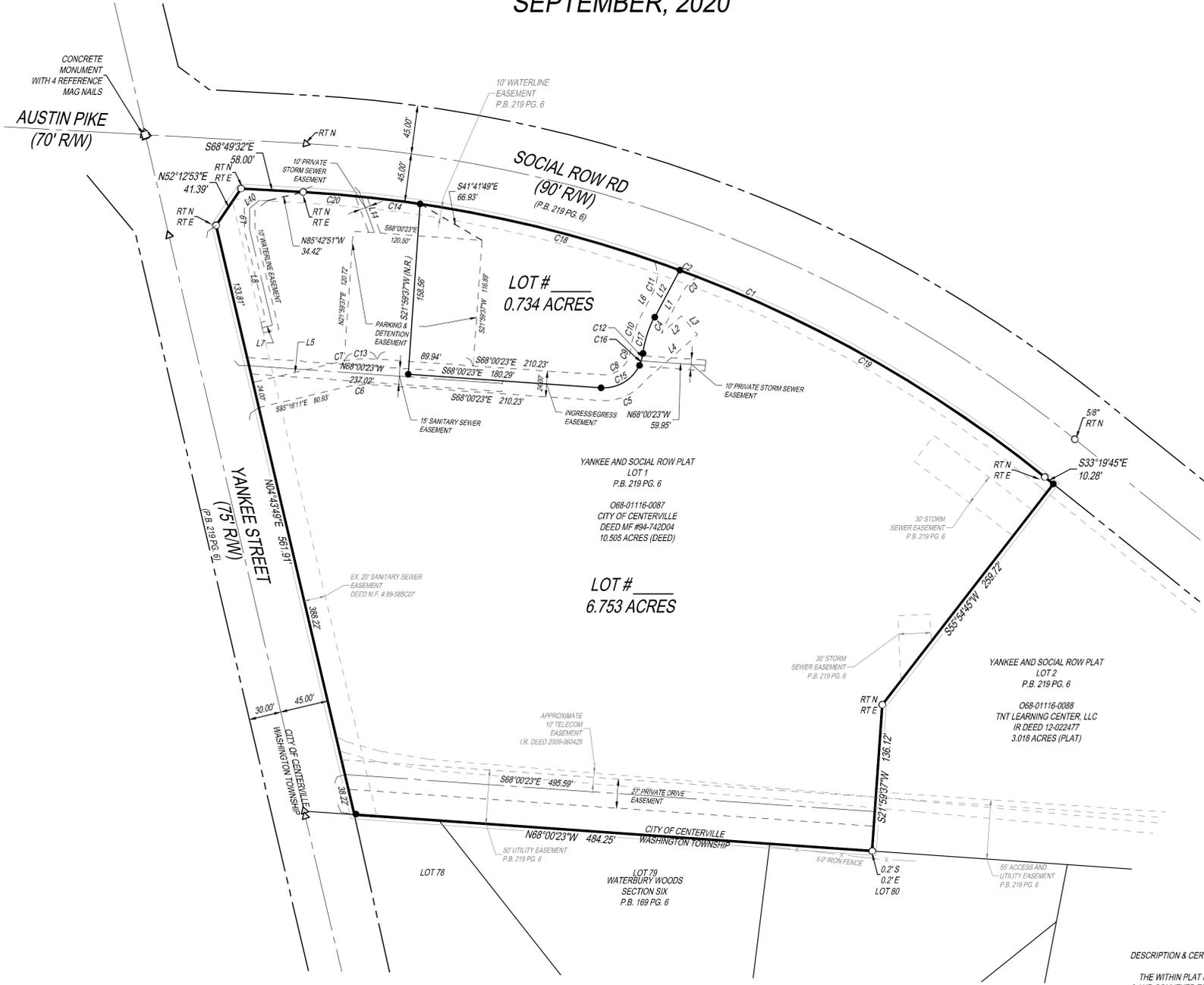
APPROVED BY CITY PLAN BOARD _____
PLANNING DIRECTOR
DATE _____ 2020

APPROVED BY DIRECTOR OF PUBLIC WORKS _____
SUPERVISOR OF PLATS
DATE _____ 2020

APPROVED FOR DESCRIPTION:

MONTGOMERY COUNTY ENGINEER JOB NO. _____

CHECKED BY DATE _____



AREA BREAKDOWN:
BUILDABLE LOT = 7.487 ACRES
RIGHT-OF-WAY = 0.000 ACRES
TOTAL = 7.487 ACRES

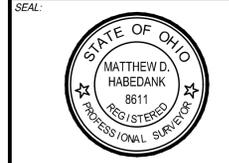
- LEGEND**
- IRON PIN FOUND (SIZE AS NOTED)
 - ⊕ IRON PIN SET (KLEINGERS)
 - ⊗ PIPE FOUND (SIZE AS NOTED)
 - △ MAG NAIL

RECEIVED
By Planning Department at 10:27 am, Sep 30, 2020

VICINITY MAP
N.T.S.

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	DIRECTION	CHORD
C1	1215.00	752.73	35°29'47"	S51°04'39"E	740.75
C2	1215.00	42.93	2°01'28"	N52°00'55"W	42.93
C3	35.00	20.27	33°10'45"	N62°43'31"E	19.99
C4	88.00	10.41	6°46'40"	N42°43'48"E	10.40
C5	49.00	48.22	56°23'17"	N83°47'58"E	46.30
C6	100.00	30.13	17°15'48"	S76°38'17"E	30.02
C7	124.00	37.36	17°15'48"	S76°38'17"E	37.22
C8	25.00	29.76	68°12'25"	N77°53'24"E	28.03
C9	25.00	7.88	18°03'16"	N34°45'34"E	7.85
C10	112.00	39.85	20°23'13"	N35°55'32"E	39.64
C11	35.00	30.95	50°40'12"	N20°50'45"E	29.95
C12	37.00	7.19	11°08'21"	S31°18'06"W	7.18
C13	124.00	30.88	14°16'03"	N75°08'25"W	30.80
C14	1215.00	109.71	5°10'25"	S86°14'21"E	109.67
C15	37.00	44.05	68°12'25"	N77°53'24"E	41.49
C16	37.00	11.66	18°03'16"	N34°45'34"E	11.61
C17	100.00	35.58	20°23'13"	N35°55'32"E	35.39
C18	1215.00	250.37	11°48'25"	N57°44'56"W	249.93
C19	1215.00	392.65	18°30'58"	S42°35'14"E	390.94
C20	1215.00	54.40	2°33'55"	S67°32'35"E	54.39

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N48°07'09"E	32.62
L2	S66°59'37"W	24.73
L3	N23°00'23"W	23.00
L4	N66°59'37"E	64.56
L5	S85°16'11"E	80.93
L6	N48°07'09"E	18.61
L7	S86°20'41"E	9.93
L8	N04°36'05"E	90.51
L9	N16°48'44"E	20.34
L10	N69°20'58"E	11.77
L11	S02°12'08"E	35.75
L12	N46°07'09"E	49.43



NO. DATE DESCRIPTION
1. 9-28-2020 BOUNDARY SPLIT - JDB

BOUNDARY SURVEY
7.487 ACRES
SECTION 4, TOWN 2, RANGE 5, M.Rs.
CITY OF CENTERVILLE
MONTGOMERY COUNTY, OHIO

PROJECT NO: 170664VSD001
DATE: 9-28-2020

SCALE: 1" = 60'
0 30 60 120

SHEET NAME:
YANKEE & SOCIAL ROW

SHEET NO.
1 OF 1

- NOTES:**
- SOURCE DOCUMENTS AS NOTED.
 - OCCUPATION IN GENERAL FITS SURVEY.
 - MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
 - HORIZONTAL DATUM IS BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM SOUTH ZONE (OSPC) AS DERIVED FROM THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE STATIONING (VRS), (NAVD 88)

DESCRIPTION & CERTIFICATION:
THE WITHIN PLAT IS A REPLAT OF LOTS 1 OF YANKEE AND SOCIAL ROW PLAT AS RECORDED IN P.B. 219 PG. 6 AND CONVEYED TO CITY OF CENTERVILLE DEED MF #94-74204
CONTAINING A TOTAL OF 7.487 ACRES IN LOTS AND 0.000 ACRES IN RIGHT-OF-WAY.

I HEREBY CERTIFY THAT THIS SUBDIVISION WAS PREPARED IN ACCORDANCE WITH O.A.C. CHAPTER 4733.37 STANDARDS FOR PLAT OF SURVEYS AND WAS CONDUCTED UNDER MY DIRECT SUPERVISION, BASED ON FIELDWORK IN SEPTEMBER OF 2020. ALL MEASUREMENTS ARE CORRECT AND MONUMENTS ARE TO BE SET AS SHOWN.

BY: _____
MATTHEW D HABEDANK
OHIO PROFESSIONAL SURVEYOR NO. 8611

DATE _____
SUPERIMPOSED AREA NOTE:
ALL OF THE LANDS OF THE DEDICATOR OF SUCH PLAT ARE DRAWN AS SHOWN HEREON.

UTILITY PROVIDERS

CABLE TIME WARNER CABLE 3691 TURNER ROAD DAYTON, OH 45415 MIKE BURNS (937) 396-8600	TELEPHONE/FIBER OPTIC AT&T 3233 WOODMAN DRIVE KETTERING, OH 45420 DIANE COONS (937) 296-7066	ELECTRIC DP&L (JUS, LLC.) 1612 PROSSER AVE., SUITE 200 KETTERING, OHIO 45409 ARON BUSSERT (937) 408-6718 aron.bussert@jus.net	GAS VECTREN 6500 CLYO ROAD CENTERVILLE, OHIO 45459 RANDY CECH (937) 440-1830 rcech@vectren.com
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WATER & SANITARY MONTGOMERY COUNTY ENVIRONMENTAL SERVICES 1850 SPALDING ROAD DAYTON, OHIO 45432 CHARLES SCHAFFER (937) 307-2759 schafferc@mcch.ohio.gov	CABLE/FIBER OPTIC VERIZON BUSINESS AKA MCI 120 RAVINE STREET AKRON, OH 43303 AL GUEST (330) 253-8267 allan.guest@verizon.com
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STORM & R/W
MONTGOMERY COUNTY
ENGINEER'S OFFICE
451 W. THIRD STREET
DAYTON, OHIO 45422-1260
PAUL W. GRUNER
(937) 225-4904

GENERAL NOTES

- THE MONTGOMERY COUNTY STANDARDS, AND THE CURRENT EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (ODOT CMS), INCLUDING ALL SUPPLEMENTS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THIS PLAN. IGNORE REFERENCES TO MEASUREMENT AND PAYMENT IN THE ODOT CMS UNLESS NOTED OTHERWISE. IN THE CASE OF CONFLICTS BETWEEN THE ODOT CMS AND THE MONTGOMERY COUNTY REQUIREMENTS, THE MONTGOMERY COUNTY REQUIREMENTS SHALL PREVAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2784) 48 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES WHO ARE NON-MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
- THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FULLY INFORM HIMSELF CONCERNING ALL CONDITIONS AFFECTING THE SCOPE OF THE WORK. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE HIM FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE CONTRACT.
- NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR EXPENSES INCURRED DUE TO SOIL CONDITIONS, GROUNDWATER, AND/OR ROCK EXCAVATION. ALL OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE COST OF ALL DEWATERING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE DIRECT OR INDIRECT DISCHARGE OR PUMPING OF UNFILTERED SEDIMENT-LADEN WATER INTO THE STORM DRAINAGE SYSTEM OR WATERCOURSE IS ILLEGAL AND PROHIBITED.
- ANY WELL, WELL POINT, PIT, OR OTHER DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUND WATER TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE PROPERLY ABANDONED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 3745-9-10 OF THE OHIO ADMINISTRATIVE CODE OR IN ACCORDANCE WITH THE PROVISIONS OF THIS PLAN AS DIRECTED BY THE DIRECTOR OF PUBLIC UTILITIES OR HIS REPRESENTATIVE.
- ANY CONTRACTOR INSTALLING ANY WELL, WELL POINT, PIT, OR OTHER DEVICE USED FOR THE PURPOSE OF REMOVING GROUND WATER FROM AN AQUIFER SHALL COMPLETE AND FILE A WELL LOG AND DRILLING REPORT FORM WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR), DIVISION OF WATER, WITHIN 30 DAYS OF THE WELL COMPLETION IN ACCORDANCE WITH THE OHIO REVISED CODE SECTION 1521.01 AND 1524.05 IN ADDITION, ANY SUCH FACILITY IS COMPLETED IN ACCORDANCE WITH SECTION 1521.16 OF THE OHIO REVISED CODE. FOR COPIES OF THE NECESSARY WELL LOG, DRILLING REPORT, OR REGISTRATION FORMS, PLEASE CONTACT: DIVISION OF WATER, OHIO DEPARTMENT OF NATURAL RESOURCES, FOUNTAIN SQUARE, COLUMBUS, OHIO 43224, (614)2656717.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO THE ODNR FOR THE REGISTRY, MAINTENANCE AND ABANDONMENT OF ANY WITHDRAWAL DEVICE USED IN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL SITE SIGNAGE, STRIPING COLOR AND WIDTH SHALL BE PER THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL EXISTING PAVEMENTS, WALKS, CURBS, ETC. SHALL BE SAWCUT BEFORE REMOVAL. IF, DURING CONSTRUCTION, THE PAVEMENT, WALKWAY, CURB, ETC. IS DAMAGED BEYOND THE ORIGINAL SAWCUT, THE DAMAGED AREA SHALL BE RECUT TO NEAT LINES AS DIRECTED BY THE ENGINEER. PAYMENT FOR SAWCUTTING SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT TO PROVIDE A SMOOTH VERTICAL FULL DEPTH BUTT JOINT BETWEEN THE EXISTING PAVEMENT OR CURB AND THE PROPOSED PAVEMENT. CONTRACTOR SHALL LOCATE SOUND PAVEMENT EDGE AND CUT AND TRIM PAVEMENT TO A NEAT LINE. INCLUDE THE COST OF PAVEMENT REMOVAL AND DISPOSAL IN THE PRICE BID FOR THE PROJECT.

GRADING NOTES

- CONTRACTOR TO REMOVE TREES AND CLEAR AREAS AS NECESSARY TO PERFORM ALL SITE WORK INCLUDING GRADING AND UTILITY WORK.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE. EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING & STRIPPING UNSUITABLE MATERIAL FROM PAD SITE. THEN PLACE & COMPACT BACKFILL MATERIAL AT GEOTECHNICAL ENGINEERS AND ARCHITECTS RECOMMENDATIONS. ALL BACKFILL MATERIAL MUST BE ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR BURY/BORROW PITS AS NEEDED TO BALANCE THE SITE. GEOTECH AND ENGINEER MUST APPROVE AREAS PRIOR TO BURY/BORROW OPERATIONS. AS-BUILT OF BURY/BORROW PIT WILL BE REQUIRED AT COMPLETION OF CONTRACTOR WORK AND MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY MONTGOMERY COUNTY AND THE OHIO EPA.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE ODOT ITEM 659.
- CONTRACTOR TO LAYOUT BUILDING BASED ON ARCHITECTURAL/FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

UTILITY NOTES

- ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. THE DRAIN TILE AND/OR STORM SEWER SHALL BE CONNECTED TO THE CURB SUBDRAIN, STORM SEWER SYSTEM OR OUTLETTED INTO THE ROADWAY DITCH AS APPLICABLE. REPLACED DRAIN TILE/STORM SEWER SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO SURROUNDING STRATUM. REPLACEMENT SHALL BE DOWN AT THE TIME OF THE BACKFILL OPERATION. COST OF THIS WORK TO BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- ALL EXISTING UTILITIES KNOWN TO EXIST HAVE BEEN SHOWN ON THESE PLANS IN THEIR APPROXIMATE LOCATION. PRIOR TO THE BEGINNING CONSTRUCTION OR EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE UTILITIES SHOWN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ANY UTILITIES THAT MAY EXIST AND ARE NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.
- UTILITY POLES WITHIN INFLUENCE OF THE UTILITY OPERATIONS SHALL BE REINFORCED BY THE UTILITY COMPANY PRIOR TO THESE CONSTRUCTION ACTIVITIES. NOTIFICATION OF THE UTILITY COMPANY PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- CONTRACTOR TO REPLACE ANY PAVEMENT OR UTILITIES DAMAGED WHICH ARE NOT SPECIFIED TO BE REMOVED ON THESE PLANS.
- ALL CATCH BASINS PLACED WITHIN THE PAVEMENT SHALL HAVE HEAVY DUTY FRAMES AND GRATES AND CONFORM TO ADA REQUIREMENTS.
- ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- ALL CATCH BASINS WITH DEPTH GREATER THAN 4.5' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- ALL STORM AND SANITARY SEWER MANHOLES WITH A DEPTH GREATER THAN 4' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM AND SANITARY STRUCTURES ARE SHOWN TO THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- IMMEDIATELY AFTER PLACEMENT OF ANY CONDUITS, THE CONTRACTOR SHALL CONSTRUCT THE END TREATMENTS REQUIRED BY THE PLANS AT BOTH THE OUTLET AND INLET ENDS. THIS SHALL INCLUDE HEADWALLS, CONCRETE, RIP RAP, ROCK CHANNEL PROTECTION, SODDING, POURING BOTTOMS, MUDDING LIFT HOLES, ETC.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER. EROSION CONTROL MEASURES MUST PROVIDE PROTECTION UNTIL COMPLETION OF THE PROJECT AND VEGETATIVE STABILIZATION.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTIONS ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE EXISTING STORM SEWER SYSTEM.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- SITE CONTRACTOR SHALL PICK UP ALL UTILITIES, WITH THE EXCEPTION OF DOWNSPOUTS, 5' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER.
- ALL PROPOSED STORM SEWERS AND SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER.
- ALL STORM STRUCTURES ARE ODOT TYPES UNLESS OTHERWISE INDICATED.
- STORM SEWER PIPE LABELED "STM" SHALL BE ONE OF THE FOLLOWING: PVC SDR-35, PVC PROFILE PIPE PER ODOT ITEM 707.42, HIGH DENSITY POLYETHYLENE PER ODOT ITEM 707.33, ALUMINIZED CORRUGATED METAL, ODOT ITEM 707.01, 707.02, OR REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. ALL STORM IS TO BE INSTALLED PER ODOT ITEM 611. ALL STORM PIPE USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.013 (N=0.013) OR LESS.
- ALL CATCH BASINS IN THE PAVEMENT ARE TO HAVE 4, 4" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED. ALL CATCH BASINS IN THE CURB ARE TO HAVE 2, 4" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED.
- FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, COORDINATE WITH CONSTRUCTION MANAGER. ALL ROOF DRAINS ARE TO BE 6" UNLESS OTHERWISE NOTED.
- ALL YARD DRAINS SHALL BE ONE OF THE FOLLOWING: NYLOPLAST-ADS DRAIN BASIN, NDS DURACAST FABRICATED PVC CATCH BASIN, AGRI-DRAIN CATCH BASIN, OR APPROVED EQUAL.
- ALL EXISTING INVERTS ALONG THE PROPOSED TOP OF CASTING ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER.
- ANY FIELD TILE CUT IN EXCAVATION WHICH DRAINS IN AN OFFSITE AREA MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- THE FLOW IN ALL SEWERS, DRAINS, FIELD TILES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE TO A CONDITION SATISFACTORY TO THE ENGINEER.
- SANITARY SEWER SHALL BE SDR-35 OR APPROVED EQUAL AND CONFORM TO THE STANDARDS AND SPECIFICATIONS OF MONTGOMERY COUNTY ENVIRONMENTAL SERVICES. PIPE MUST MEET MINIMUM SLOPE REQUIREMENTS OF THE MONTGOMERY COUNTY ENVIRONMENTAL SERVICES AND OHIO EPA. SANITARY SEWER SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE CROSSINGS. SANITARY SERVICE JOINTS SHALL CONFORM TO ASTM D-3212.
- SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
- ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED A MINIMUM OF 18" BELOW WATERLINE AT ALL CROSSINGS. WATERLINE SHALL BE LOCATED A MINIMUM OF 10' HORIZONTALLY FROM ANY SANITARY SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERLINE PIPE. ONE FULL LENGTH OF WATERLINE PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE. ALL WATER SHALL HAVE A MINIMUM OF 4' OF COVER.
- WATER SERVICES (2" DIA. AND UNDER) SHALL BE TYPE "K" COPPER CONFORMING TO FEDERAL SPECIFICATION WW-1-799.

YANKEE STREET AND SOCIAL ROW ROAD (MAJOR SITE PLAN)

CITY OF CENTERVILLE
MONTGOMERY COUNTY, OHIO



VICINITY MAP
N.T.S

SHEET INDEX

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GRADING DETAIL	C141
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CITY OF CENTERVILLE NOTES

- RIGHT OF WAY PERMIT:** A RIGHT OF WAY PERMIT AND INSPECTIONS FROM THE CITY OF CENTERVILLE PUBLIC WORKS DEPARTMENT ARE REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS. CALL (937) 428-4782 AT LEAST 24 HOURS PRIOR TO COMMENCING ANY WORK IN THE RIGHT OF WAY.
- EARTH DISTURBANCE INSPECTION REQUIRED:** CONTRACTOR SHALL NOTIFY THE CITY OF CENTERVILLE PUBLIC WORKS DEPARTMENT PRIOR TO ANY EARTH DISTURBING ACTIVITY SO THAT INSPECTION OF EROSION CONTROL MEASURES CAN BE PERFORMED.
- CURB BACKFILL:** THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE TOP OF CURB SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF THE BACKFILL. THE FINAL GROUND LEVEL ADJACENT TO THE CURB SHALL BE FLUSH WITH THE TOP OF CURB.
- RESPONSIBILITY:** THE OWNER AND CONTRACTOR BEAR SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE APPROVED PLANS, FIELD INSPECTION AND QUALITY OF WORK.
- SWPPP REPORTING:** THE CONTRACTOR SHALL SUBMIT WEEKLY SWPPP INSPECTION REPORT TO THE CITY. INSPECTION REPORTS SHALL ALSO BE SUBMITTED AFTER EVERY RAINFALL OF 1/2" OR GREATER.
- SWEEPING BOND:** A \$2,500 STREET CLEANING BOND SHALL BE PROVIDED. THIS BOND WILL ONLY BE UTILIZED IF COMPLIANCE WITH R/W TRACKING AND CLEANING IS NOT ADHERED TO.
- THE CONTRACTOR AND DEVELOPER MAY NOT DEVIATE FROM THE APPROVED PLANS WITHOUT PRIOR PERMISSION FROM THE CITY, INCLUDING SUBMITTAL OF REVISED SHEET FOR REVIEW AND APPROVAL.
- ALL SIGN POST SHALL BE SQUARE AND PAINTED BLACK.

THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com
3040 Presidential Dr.
Suite 202
Fairborn, OH 45324
937.222.2044

SEAL:	
NO. DATE DESCRIPTION	

YANKEE STREET AT SOCIAL ROW ROAD
CITY OF CENTERVILLE
MONTGOMERY COUNTY, OHIO

PROJECT NO:	170664.000
DATE:	06-11-2020
SCALE:	
SHEET NAME:	

TITLE SHEET

SHEET NO.
C100

RECEIVED
By Planning Department at 10:25 am, Sep 30, 2020

ACCEPTANCE OF PLANS

THE CITY OF CENTERVILLE PUBLIC WORKS DEPARTMENT HEREBY ACCEPTS THESE PLANS FOR CONSTRUCTION, AS BEING IN GENERAL COMPLIANCE WITH PLAN PREPARATION REQUIREMENTS OF THIS GOVERNMENT IN REGARDS TO PUBLIC WORKS DEPARTMENT RESPONSIBILITIES. RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF THE PLANS AND RATED DESIGNS RESIDES WITH THE ENGINEER AND THE ENGINEER FIRM OF RECORD.

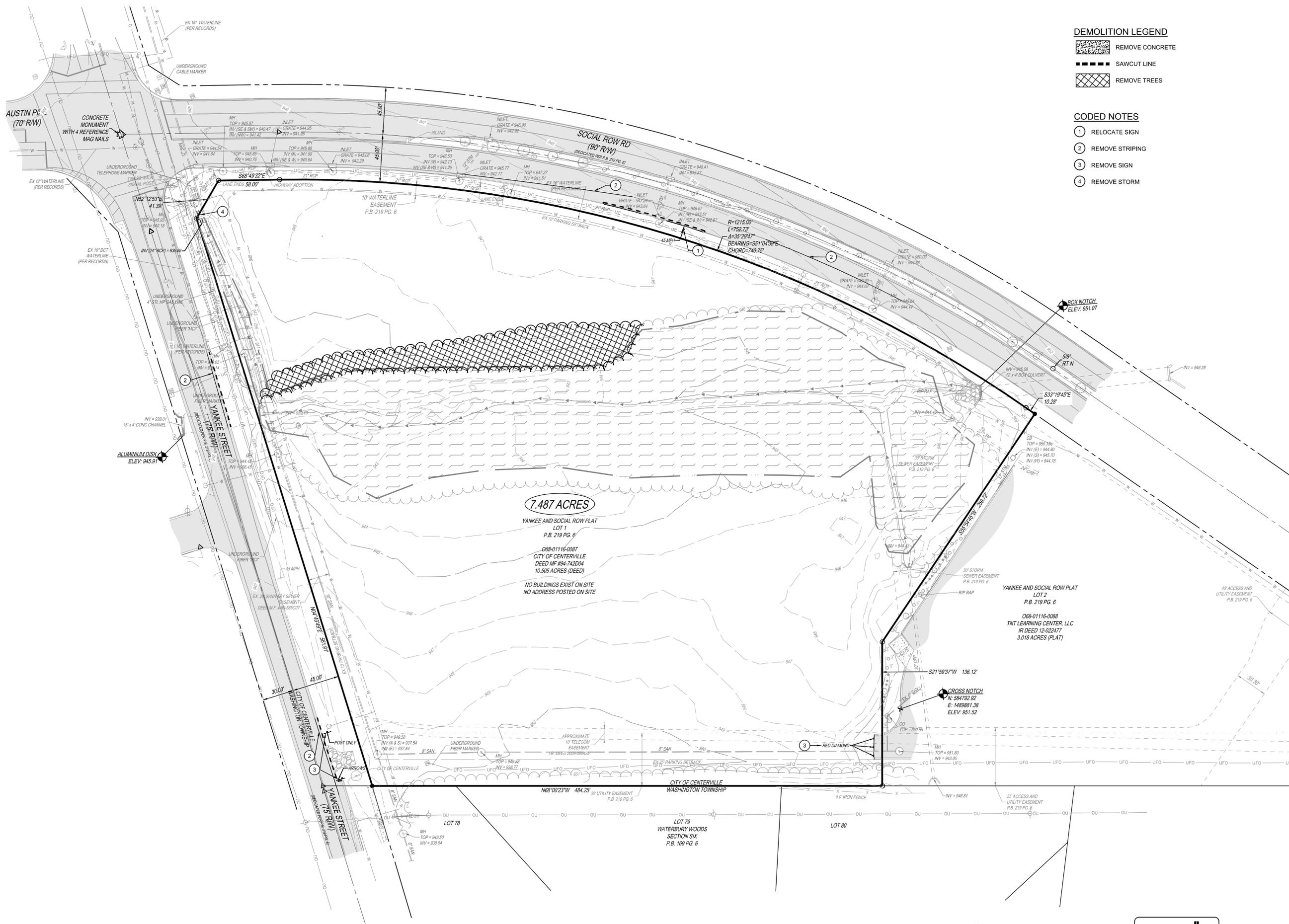
CITY OF CENTERVILLE _____ DATE _____



CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 www.kleingers.com
 3040 Presidential Dr. Suite 202 Fairborn, OH 45324 937.222.2044

- DEMOLITION LEGEND**
- REMOVE CONCRETE
 - SAWCUT LINE
 - REMOVE TREES

- CODED NOTES**
- 1 RELOCATE SIGN
 - 2 REMOVE STRIPING
 - 3 REMOVE SIGN
 - 4 REMOVE STORM



7.487 ACRES

YANKEE AND SOCIAL ROW PLAT LOT 1
 P.B. 219 PG. 6
 068-01116-0087
 CITY OF CENTERVILLE
 DEED MF #94-742D04
 10.505 ACRES (DEED)
 NO BUILDINGS EXIST ON SITE
 NO ADDRESS POSTED ON SITE

YANKEE AND SOCIAL ROW PLAT LOT 2
 P.B. 219 PG. 6
 068-01116-0088
 TNT LEARNING CENTER, LLC
 IR DEED 12-022477
 3.018 ACRES (PLAT)

SEAL:

NO.	DATE	DESCRIPTION

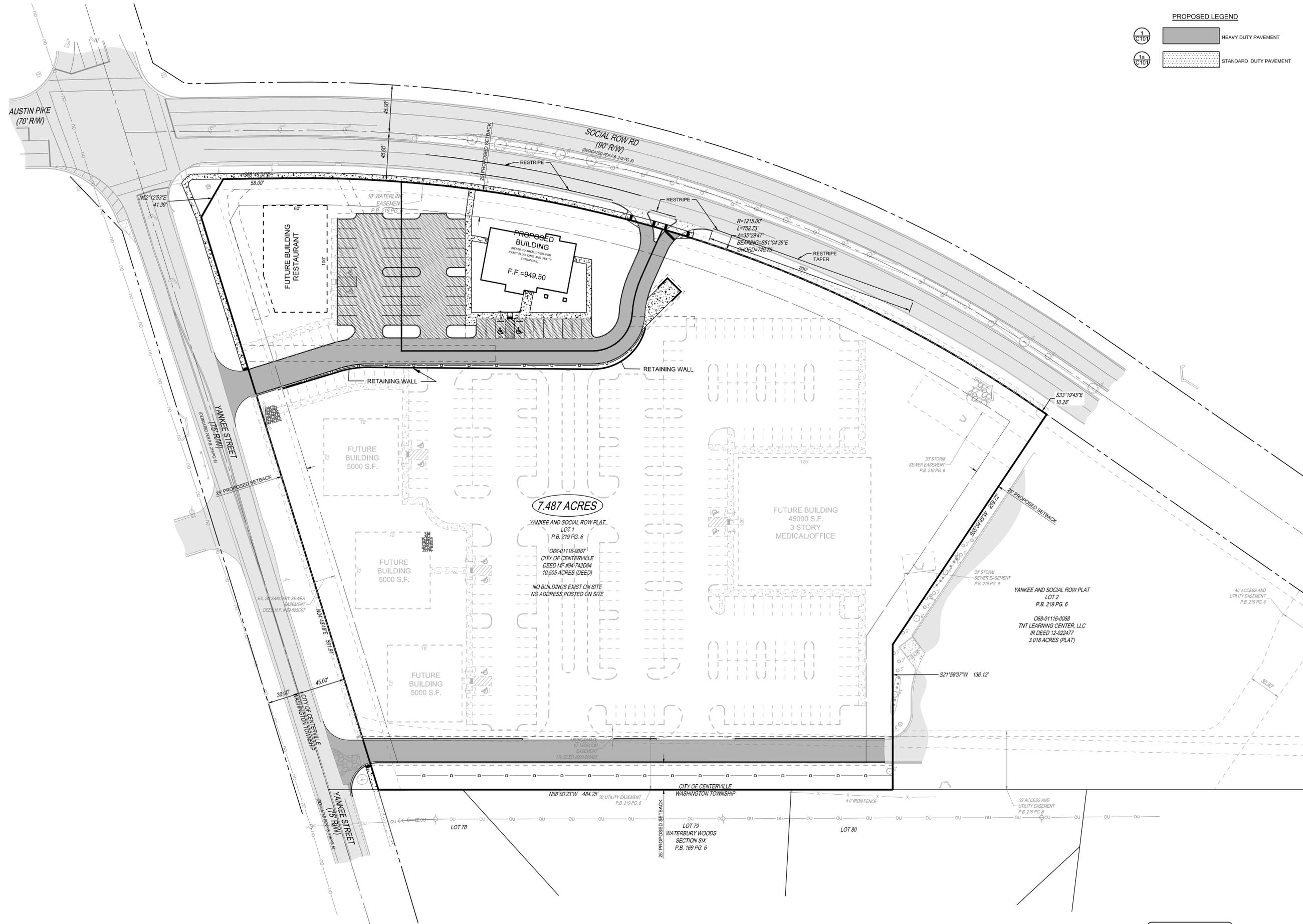
YANKEE STREET AT SOCIAL ROW ROAD
 CITY OF CENTERVILLE
 MONTGOMERY COUNTY, OHIO

PROJECT NO:	170664.000
DATE:	06-11-2020
SCALE:	
SHEET NAME:	DEMOLITION PLAN

SHEET NO.
C111

NOTE:
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.





PROPOSED LEGEND

1 CTUT HEAVY DUTY PAVEMENT

1A CTUT STANDARD DUTY PAVEMENT

THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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3040 Presidential Dr.
Suite 202
Fairborn, OH 45324
937.222.2044

SEAL:

NO.	DATE	DESCRIPTION

YANKEE STREET AT SOCIAL ROW ROAD
CITY OF CENTERVILLE
MONTGOMERY COUNTY, OHIO

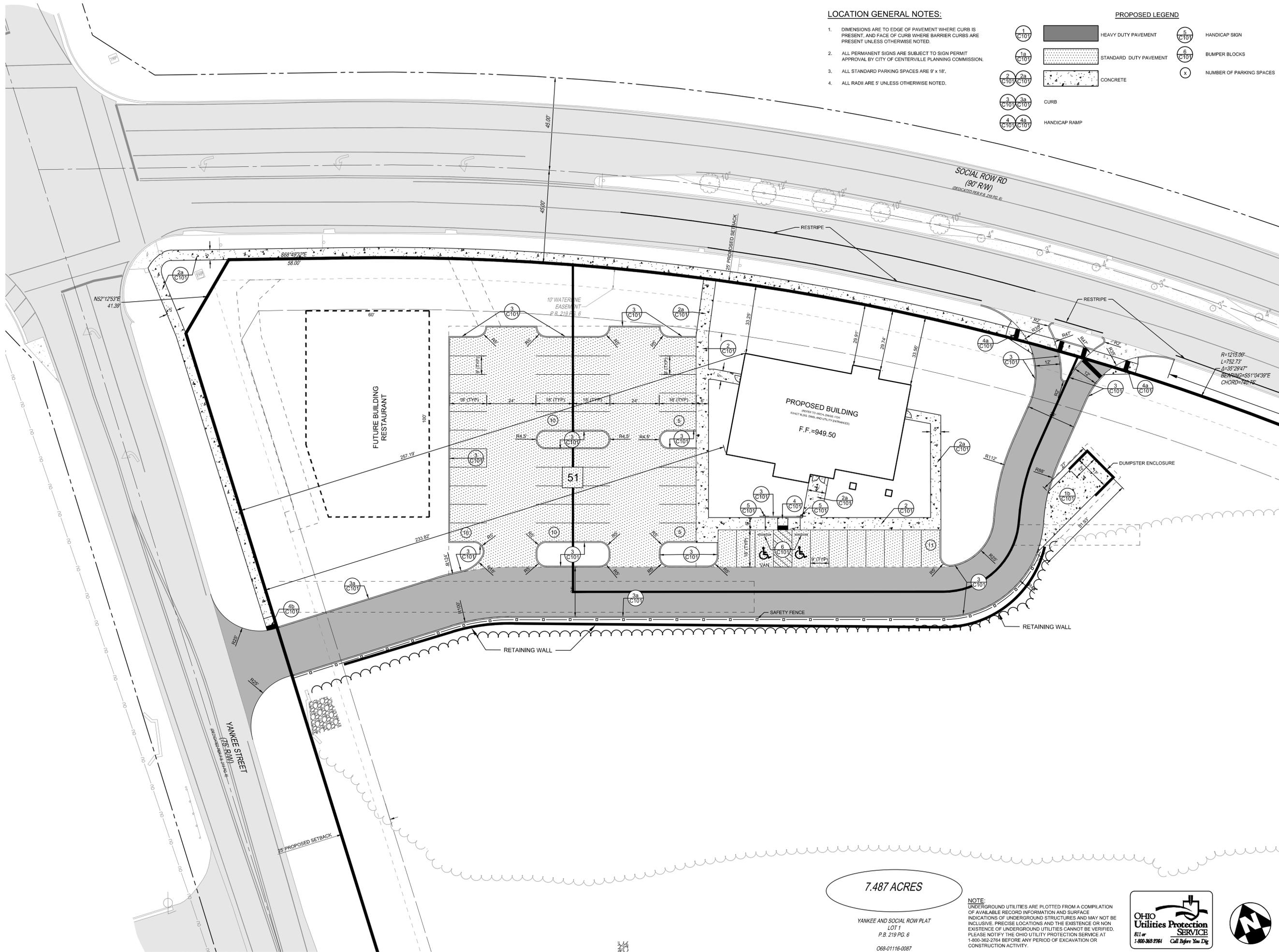
PROJECT NO:	170664.000
DATE:	06-11-2020
SCALE:	0 20 40 80

SHEET NAME:
OVERALL LOCATION PLAN

SHEET NO.
C120

NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.





LOCATION GENERAL NOTES:

- DIMENSIONS ARE TO EDGE OF PAVEMENT WHERE CURB IS PRESENT, AND FACE OF CURB WHERE BARRIER CURBS ARE PRESENT UNLESS OTHERWISE NOTED.
- ALL PERMANENT SIGNS ARE SUBJECT TO SIGN PERMIT APPROVAL BY CITY OF CENTERVILLE PLANNING COMMISSION.
- ALL STANDARD PARKING SPACES ARE 9' x 18'.
- ALL RADII ARE 5' UNLESS OTHERWISE NOTED.

PROPOSED LEGEND

	HEAVY DUTY PAVEMENT		HANDICAP SIGN
	STANDARD DUTY PAVEMENT		BUMPER BLOCKS
	CONCRETE		NUMBER OF PARKING SPACES
	CURB		
	HANDICAP RAMP		

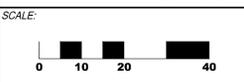
THE KLEINGERS GROUP
 CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 www.kleingers.com
 3040 Presidential Dr. Suite 202 Fairborn, OH 45324 937.222.2044

SEAL:

NO. DATE DESCRIPTION

YANKEE STREET AT SOCIAL ROW ROAD
 CITY OF CENTERVILLE
 MONTGOMERY COUNTY, OHIO

PROJECT NO: 170664.000
 DATE: 06-11-2020



SHEET NAME:

LOCATION PLAN

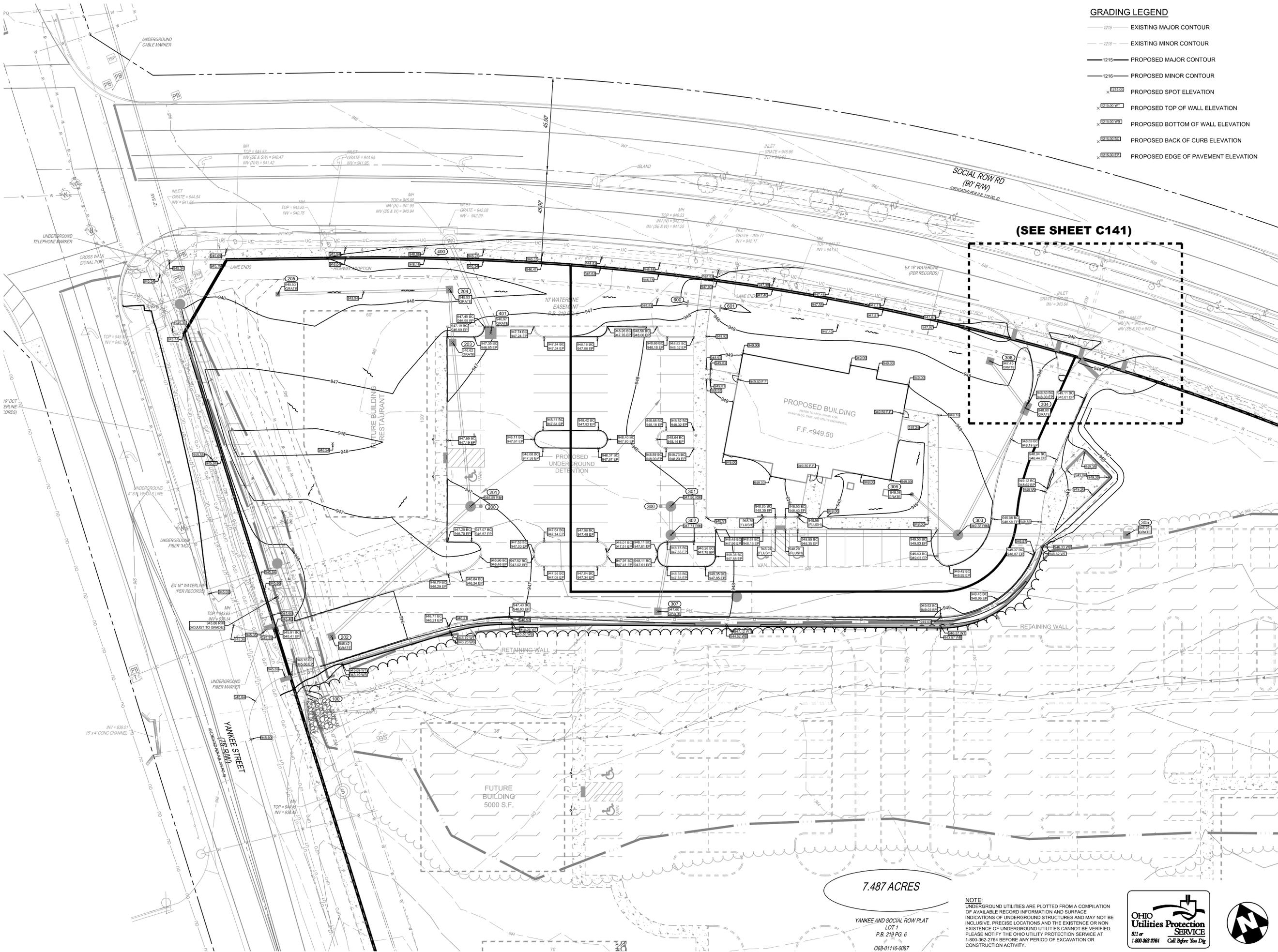
SHEET NO:
C121

7.487 ACRES

YANKEE AND SOCIAL ROW PLAT
 LOT 1
 P.B. 219 PG. 6
 068-01116-0087

NOTE:
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GRADING LEGEND

- 1215 — EXISTING MAJOR CONTOUR
- 1216 — EXISTING MINOR CONTOUR
- 1215 — PROPOSED MAJOR CONTOUR
- 1216 — PROPOSED MINOR CONTOUR
- × 043.00 PROPOSED SPOT ELEVATION
- × 043.00.01 PROPOSED TOP OF WALL ELEVATION
- × 043.00.02 PROPOSED BOTTOM OF WALL ELEVATION
- × 043.00.04 PROPOSED BACK OF CURB ELEVATION
- × 043.00.05 PROPOSED EDGE OF PAVEMENT ELEVATION

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 3040 Presidential Dr., Suite 202, Fairborn, OH 45324
 937.222.2044

SEAL: _____
 NO. DATE DESCRIPTION

YANKEE STREET AT SOCIAL ROW ROAD
 CITY OF CENTERVILLE
 MONTGOMERY COUNTY, OHIO

PROJECT NO: 170664.000
 DATE: 06-11-2020
 SCALE: _____
 SHEET NAME:

GRADING PLAN

SHEET NO. **C140**

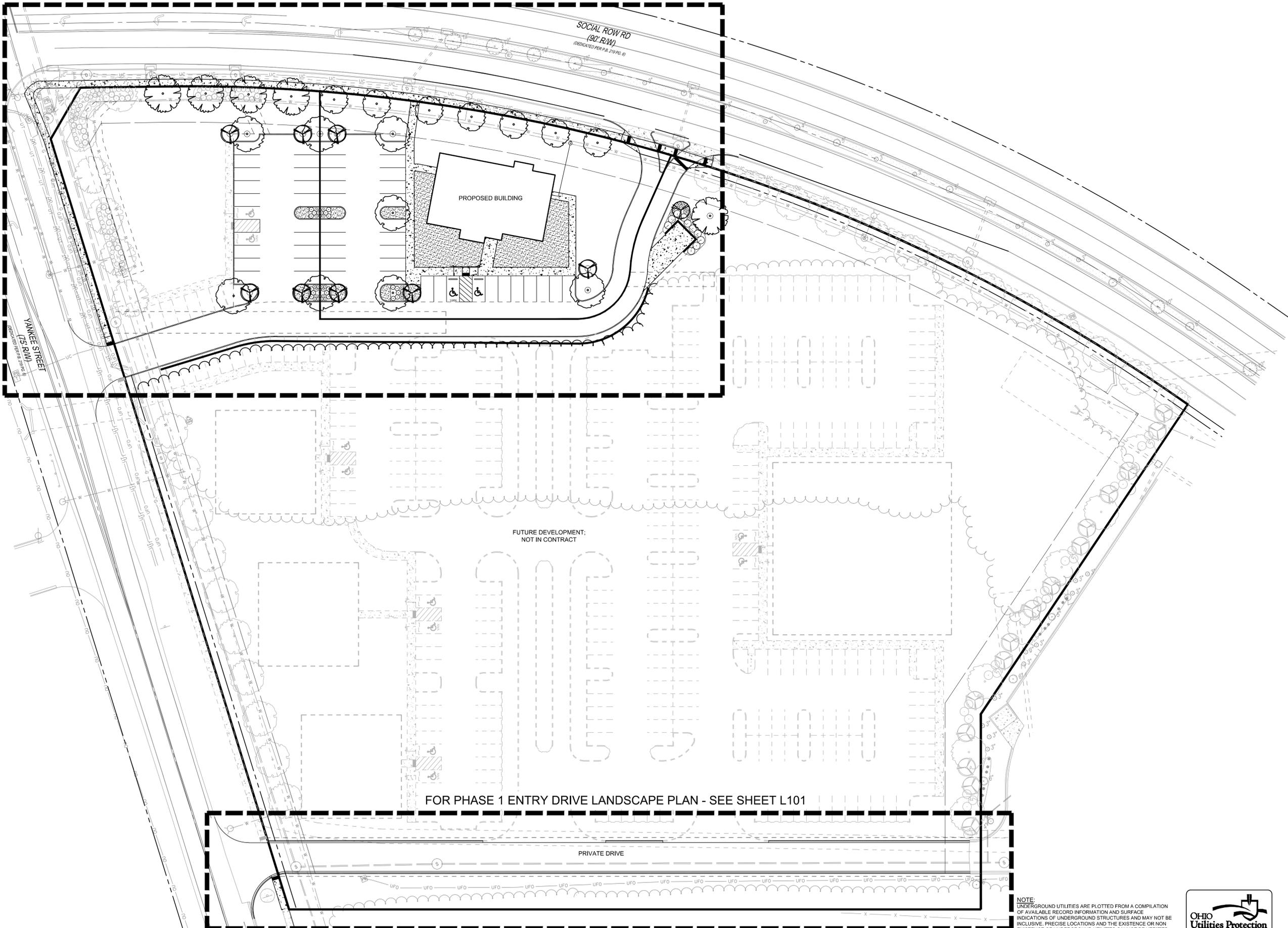
7.487 ACRES

YANKEE AND SOCIAL ROW PLAT
 LOT 1
 P.B. 219 PG. 6
 069-01116-0087

NOTE:
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



FOR PHASE 1 LANDSCAPE PLAN - SEE SHEET L101



FOR PHASE 1 ENTRY DRIVE LANDSCAPE PLAN - SEE SHEET L101

NOTE:
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CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
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SEAL:

NO. DATE DESCRIPTION

YANKEE STREET AT SOCIAL ROW ROAD
 CITY OF CENTERVILLE
 MONTGOMERY COUNTY, OHIO

PROJECT NO: 170664.000

DATE: 06-11-2020

SCALE:



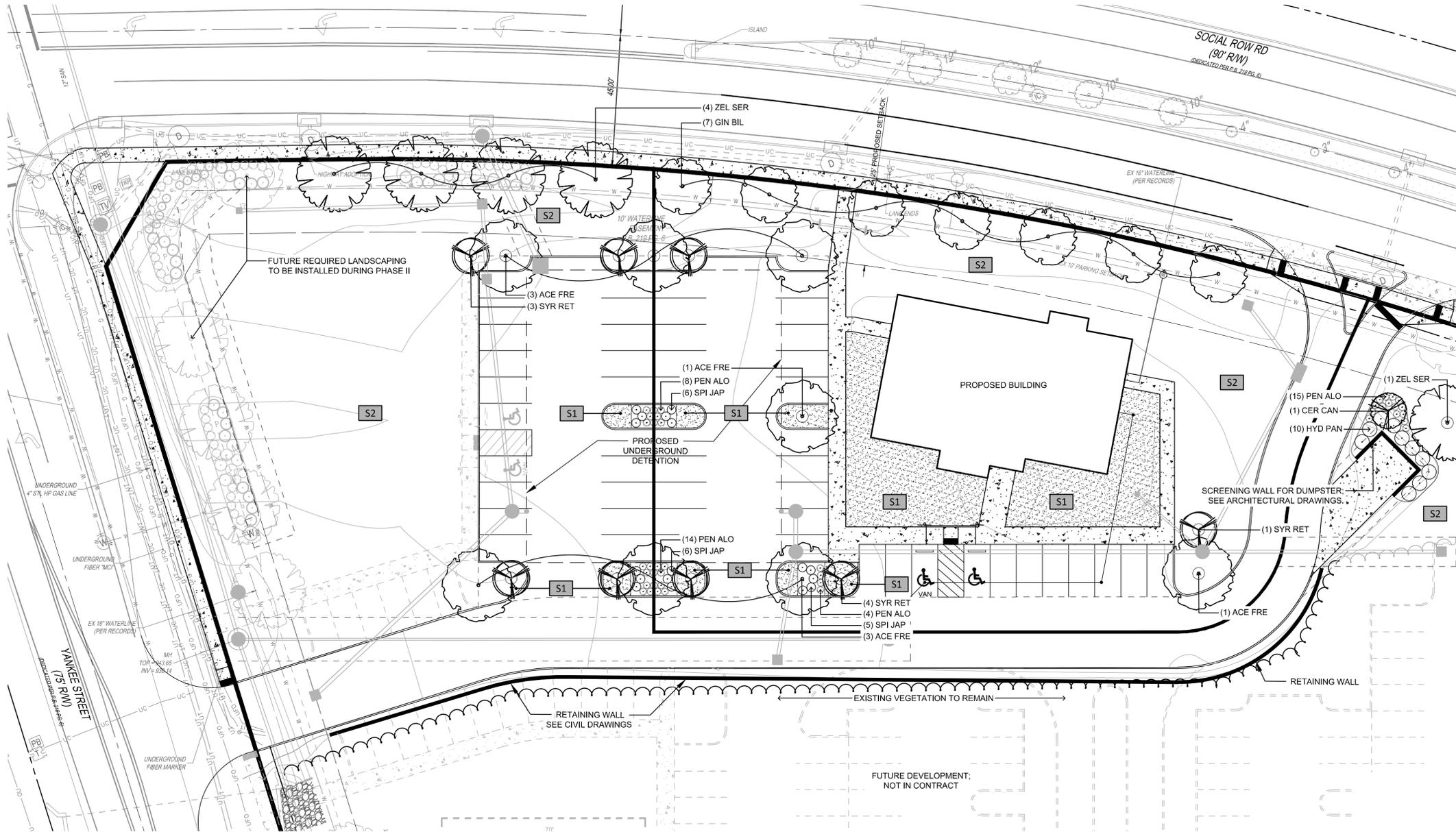
SHEET NAME:

LANDSCAPE PLAN

SHEET NO:

L100

INSPIRED PEOPLE > CREATIVE DESIGN > TRANSFORMING COMMUNITIES



GENERAL NOTES
 1. SEE SHEET L102 FOR ZONING CODE REQUIREMENTS, PLANT SCHEDULE, AND PLANT DETAILS.

- PLANTING NOTES**
- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL VERIFY ALL PLANTING CONDITIONS FOR OBSTRUCTIONS, EXISTING TREE CANOPY COVERAGE, AND OVERHEAD ELECTRICAL POWER LINES PRIOR TO PLANTING. IF ADVERSE PLANTING CONDITIONS ARE OBSERVED, CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
 - ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
 - SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
 - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
 - THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
 - ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE APPROVED BY THE OWNER'S REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.

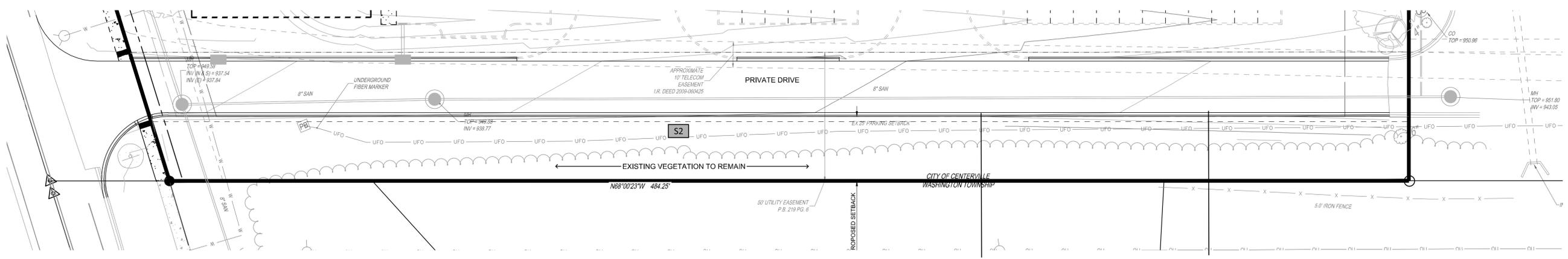
LEGEND

— PROPERTY LINE

PLANT MATERIAL

- DECIDUOUS TREE, TYP. (S6 L102)
- SHRUBS, TYP. (4 L102)
- PERENNIALS & ORNAMENTAL GRASSES, TYP. (3 L102)
- EXISTING TREES TO REMAIN, PROTECT IN PLACE
- FUTURE REQUIRED LANDSCAPING TO BE INSTALLED DURING PHASE II
- SOD, TYP. (S1)
- SEED, TYP. (S2)

1 PHASE 1 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



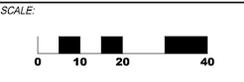
2 PHASE 1 PRIVATE DRIVE LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

NOTE:
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



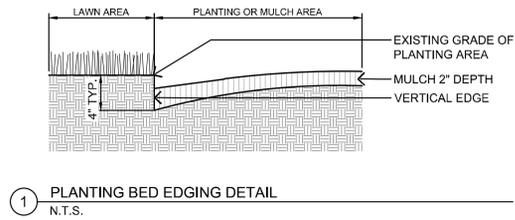
YANKEE STREET AT SOCIAL ROW ROAD
 CITY OF CENTERVILLE
 MONTGOMERY COUNTY, OHIO

PROJECT NO: 170664.000
 DATE: 06-11-2020

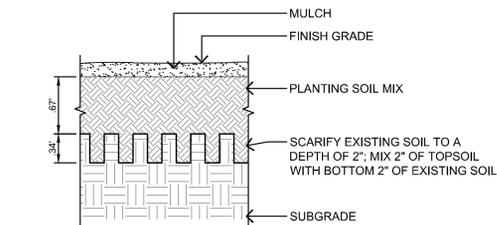


SHEET NAME:
LANDSCAPE PLAN ENLARGEMENTS

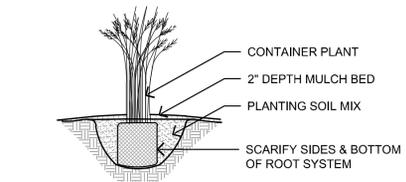
SHEET NO:
L101



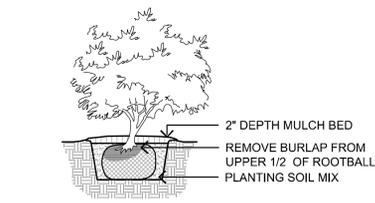
1 PLANTING BED EDGING DETAIL
N.T.S.



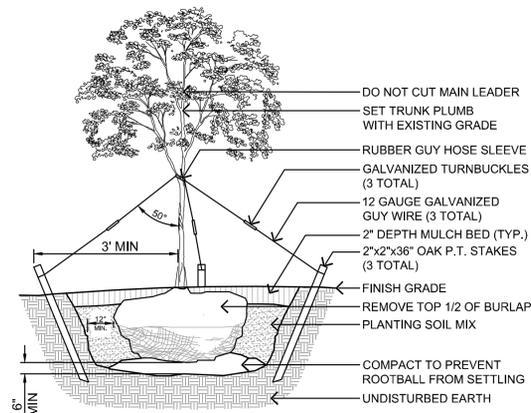
2 SOIL PROFILE
N.T.S.



3 PERENNIAL AND ORNAMENTAL GRASS PLANTING
N.T.S.

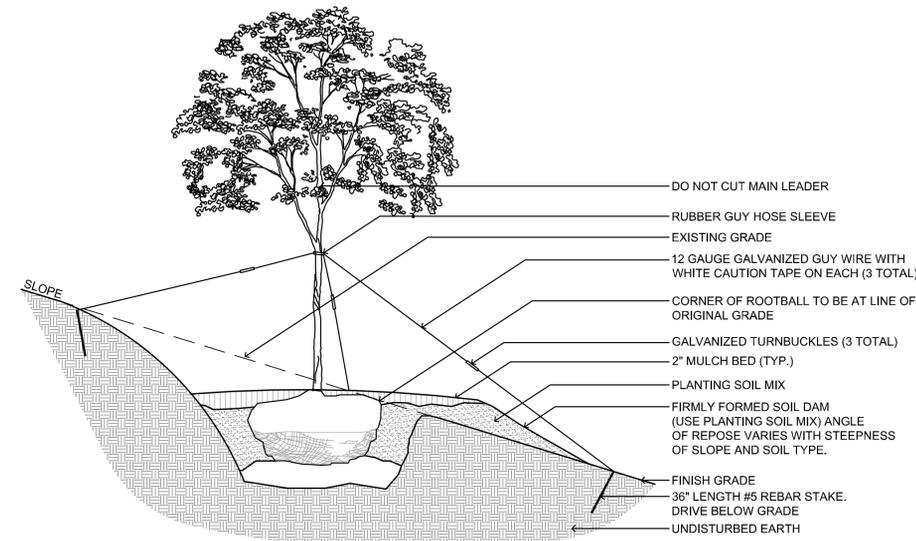


4 SHRUB PLANTING
N.T.S.



- NOTES:
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
 2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
 3. REMOVE GUY WIRES, TURNBUCKLES, HOSE AND STAKES 1 YEAR AFTER PLANTING.
 4. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.

5 DECIDUOUS TREE PLANTING
N.T.S.



- NOTES:
1. FOR PLANTING INSTRUCTIONS SEE DECIDUOUS TREE PLANTING DETAIL, THIS SHEET.

6 DECIDUOUS TREE PLANTING ON A SLOPE
N.T.S.

PHASE 1 LANDSCAPE PLAN ZONING REQUIREMENTS (CITY OF CENTERVILLE UNIFIED DEVELOPMENT ORDINANCE)

	REQUIRED	PROPOSED
LANDSCAPING, SCREENING, AND BUFFERING STANDARDS (9.25)		
BUFFERYARD, LANDSCAPING, AND SCREENING REQUIREMENTS (9.25.C)	NORTH AND WEST : 10' WIDE BUFFER PLANTED WITH 3 CANOPY TREES, AND 15 SHRUBS PER 100 LINEAR FEET 575 LF = 18 CANOPY TREES, AND 87 SHRUBS	NORTH AND WEST : 11 CANOPY TREES PROVIDED, 7 TREES AND 94 SHRUBS TO BE PROVIDED IN FUTURE PHASES
	SOUTH AND EAST: 10' WIDE BUFFER PLANTED WITH 2 CANOPY TREES, 4 UNDERSTORY TREES, AND 6 SHRUBS PER 100 LINEAR FEET 500 LF = 10 CANOPY TREES, 20 UNDERSTORY TREES, AND 30 SHRUBS	SOUTH AND EAST: EXISTING VEGETATION TO REMAIN
PARKING LOT LANDSCAPING REQUIREMENTS (9.25.D)	MINIMUM PLANT SIZES FOR BUFFERYARDS ARE 2.5" CAL. FOR DECIDUOUS TREES, 1.5" CAL. FOR UNDERSTORY TREES, 18" HT. FOR EVERGREEN SHRUBS, AND 24" HT. FOR DECIDUOUS SHRUBS	
	INTERIOR LANDSCAPING SHALL BE 8% OF THE PARKING LOT SURFACE AREA 25,624 SF PARKING LOT SURFACE AREA = 2,050 SF LANDSCAPING	2,435 SF LANDSCAPING PROVIDED
	1 CANOPY TREE, 1 UNDERSTORY TREE, AND 2 SHRUBS SHALL BE INSTALLED FOR EVERY 300 SF OF LANDSCAPED AREA 2,050 SF LANDSCAPING/ 300= 7 CANOPY TREES, 7 UNDERSTORY TREES, AND 14 SHRUBS	8 CANOPY TREES, 8 UNDERSTORY TREES, AND 16 SHRUBS PROVIDED

PHASE 1 PRIVATE DRIVE ZONING REQUIREMENTS (CITY OF CENTERVILLE UNIFIED DEVELOPMENT ORDINANCE)

	REQUIRED	PROPOSED
LANDSCAPING, SCREENING, AND BUFFERING STANDARDS (9.25)		
BUFFERYARD, LANDSCAPING, AND SCREENING REQUIREMENTS (9.25.C)	SOUTH : 25' WIDE BUFFER WITH A 4' TALL EARTHEN BERM, AND A FENCE OR WALL, PLANTED WITH 3 CANOPY TREES, 6 UNDERSTORY TREES, 20 DECIDUOUS SHRUBS, AND 15 EVERGREEN SHRUBS PER 100 LINEAR FEET 484 LF = 14 CANOPY TREES, 28 UNDERSTORY TREES, 96 DECIDUOUS SHRUBS, AND 72 EVERGREEN SHRUBS	SOUTH : EXISTING VEGETATION TO REMAIN

PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES:					
ACE FRE	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	2.5" CAL.	B&B	SPACE PER PLAN
SYR RET	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	1.5" CAL.	B&B	SPACE PER PLAN
GIN BIL	GINKGO BILOBA 'MAGYAR'	MAGYAR GINKGO	2.5" CAL.	B&B	SPACE PER PLAN
ZEL SER	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5" CAL.	B&B	SPACE PER PLAN
SHRUBS:					
HYD PAN	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	24" HT. MIN.	B&B	SPACE 60" O.C.
SPJ JAP	SPIRAEA JAPONICA 'DOUBLE PLAY CANDY CORN'	DOUBLE PLAY CANDY CORN SPIREA	18" HT. MIN.	B&B	SPACE 36" O.C.
PERENNIALS AND ORNAMENTAL GRASSES:					
PEN ALO	PENNISSETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	#3	CONT.	SPACE 30" O.C.
TURFGRASS SEED AND SOD: SEE SPECIFICATIONS					

SEAL:

NO. DATE DESCRIPTION

YANKEE STREET AT SOCIAL ROW ROAD
CITY OF CENTERVILLE
MONTGOMERY COUNTY, OHIO

PROJECT NO: 170664.000

DATE: 06-11-2020

SCALE:

SHEET NAME:

LANDSCAPE DETAILS

SHEET NO:

L102



Brooks A. Compton, Mayor
Wayne S. Davis, City Manager

NOTICE OF PUBLIC HEARING
Centerville Planning Commission
Case P-2020-0030

Notice is hereby given that the Centerville Planning Commission will hold a Public Hearing on Tuesday, October 27, 2020, at the meeting beginning at 7 p.m. in Council Chambers of the Municipal Building at 100 W. Spring Valley Road, concerning a variance application filed by Michael Norton-Smith, on behalf of the City of Centerville at Social Row Road and Yankee Street.

The requested variances are to allow the following:

- Parking and paving setbacks of 0' on the south and east property line.
- Eliminate south and east bufferyard requirement and relocate required landscaping and screening elsewhere on the property.

The application and other pertinent documents are available for review. Please contact the Centerville Planning office at (937) 433-7151 or planning@centervilleohio.gov for access to these materials.

By order of the City of Centerville, Ohio.

Teri Davis
Clerk of Council